

### DRAFT DEVELOPMENT PERMIT WITH VARIANCES

**Permit No:** DP-2021-02

**Registered Owner:** Plante Development Ltd.

**Subject Property:** 545 Jubilee St, Duncan BC, V9L 1X3

**Description of Land:** 

Parcel Identifier: 029-856-221

Legal Description: LOT A, SECTION 18, RANGE 6, QUAMICHAN DISTRICT, PLAN EPP62839

**Proposal:** Major Development Permit with Variances – New Residential Building

#### **Conditions of Permit:**

1. This permit is issued subject to compliance with all relevant City of Duncan bylaws, except as specifically varied or supplemented by this Permit.

- 2. This permit applies to the lands described above, and any buildings, structures, and other development thereon (hereinafter called 'the Lands').
- 3. The Lands and building which are subject to this Permit shall be developed strictly in accordance with the terms and conditions of this Permit and in accordance with the following schedules:

Schedule A - Site Plan

Schedule B – Building Elevations and Landscape Plan

4. This Development Variance Permit includes the following variances to City Bylaws:

### Zoning Bylaw No. 3166, 2017 Variances:

Section	Requested Variance	Bylaw	Proposed
4.11.1	Front Yard Setback	3.0 m	1.7 m
4.11.1	Interior Side Yard Setback	1.5 m	1.0 m
3.32.1	Percentage of Small Car Parking Spaces	50%	100%
3.32.1	Minimum Two-way Drive-aisle Width	6.5 m	6.45 m
3.31.1	Minimum Number of Required Parking Spaces	7	6
3.30.1	Minimum Number of Visitor Parking Spaces	1	0

### Works and Services Bylaw No. 3158, 2017 Variances:

Section	Requested Variance	Bylaw	Proposed
5.1.1	Minimum Common Driveway Width	6.0 m	3.8 m

- 5. As conditions of this permit, and prior to the issuance of a Building Permit, the following must be provided as shown:
  - a) A landscape works and materials estimate subject to the approval of the Manager of Planning and a security deposit in the form of a cash deposit or letter of credit valued at 125% of the hard and soft landscaping costs for development of a new parking space as shown on Schedule A, as authorized by Section 502 of the Local Government Act, to ensure that any conditions with respect to landscaping are satisfied or to ensure that no conditions of the Permit are being breached resulting in an unsafe condition of the Land;
  - b) Works and Services fees and security deposits, as determined by Public Works and Engineering;
  - A covenant to provide shared access for the future redevelopment of 231 First Street.
- 6. Where the City of Duncan considers that:
  - a) A condition in the Permit with respect to landscaping has not been satisfied, or
  - b) where, as a result of the contravention of a condition in a Permit, an unsafe condition has resulted.

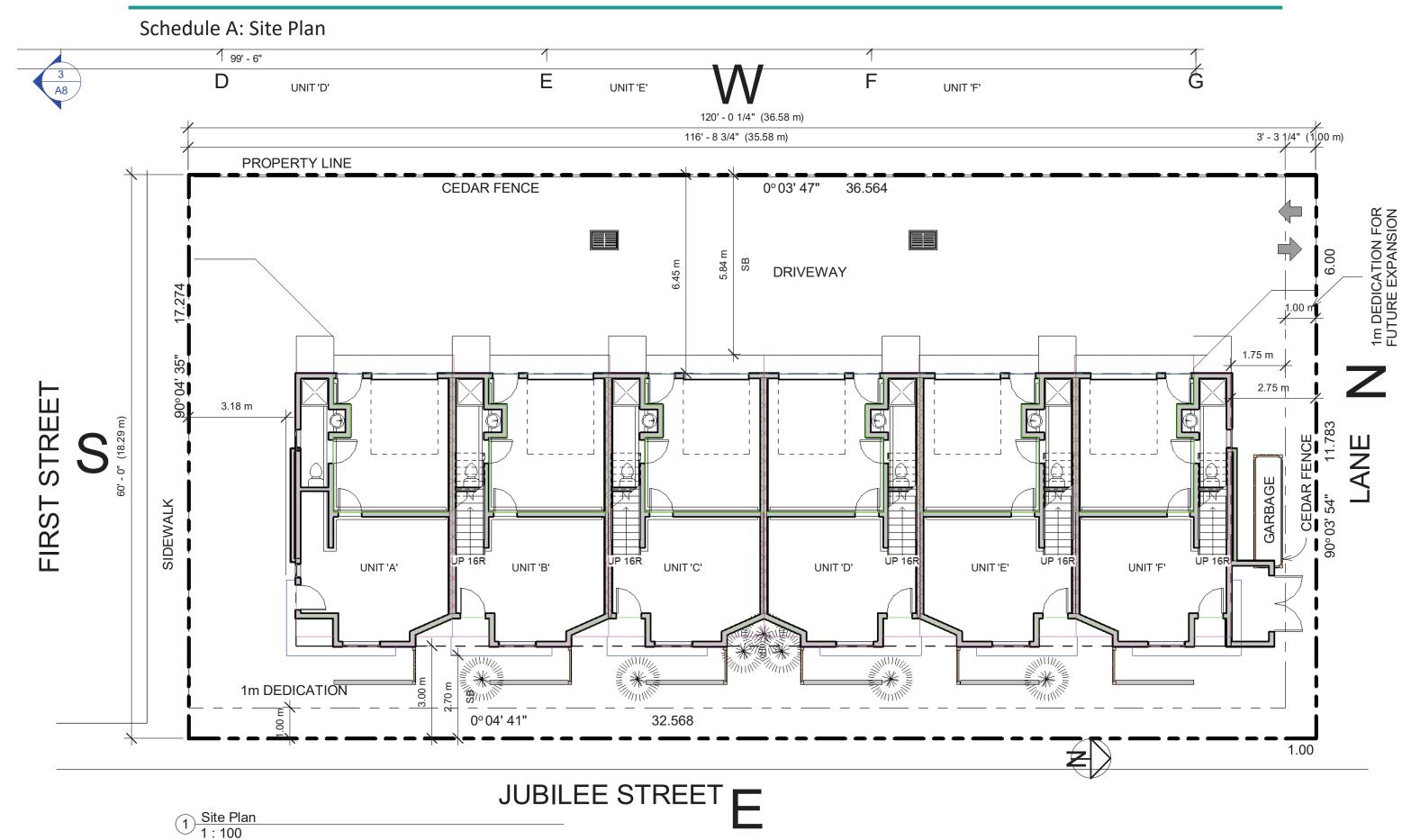
The City of Duncan may undertake and complete the works required to satisfy the landscaping condition or carry out any construction required to correct the unsafe condition, at the cost of the Permit holder, and may apply the security in payment of the cost of the works with any excess to be returned to the Permit holder.

- 7. Pursuant to section 504(2) of the *Local Government Act*, this permit will lapse two years from the date of the Development Permit approval unless construction, in accordance with the terms and conditions of this permit, has substantially started.
- 8. This permit is not a Building Permit.
- 9. Further to condition 7, construction is considered to be substantially started when a valid Building Permit for the development has been issued and shall not have lapsed; and excavation or construction works associated with the development hereby approved may have commenced to the satisfaction of the Director of Development Services. Demolition does not constitute construction.
- 10. Where any security is required by the City of Duncan, the security provided by the Permit holder is to be submitted at the time of Building Permit application submission.
- 11. Where the development authorized by this Permit has lapsed prior to commencement of any work pursuant to this Permit, the security shall be returned to the Permit holder.

### Date of Development Permit Approval/Issue by Council or its Delegate:

This permit was approved on June, 2021.
This permit expires on June, 2023.
The City of Duncan
Corporate Officer

	and conditions of the Development Permit contained herein. In has made no representations, covenants, warranties,
guarantees, promises, or agreements (verbathan those contained in this Permit.	l or otherwise) with Kyle Plante, Plante Development Ltd., other
Owner/Agent (signature)	Witness (signature)
Print Name	Print Name



## **GENERAL NOTES**

OWNER AND CONTRACTOR SHALL REVIEW THIS SPECIFICATION DOCUMENT NOTE AND INITIAL ANY MUTUALLY AGREED UPON CHANGES IF NOT ALREADY PART OF DRAWING SET.

PREAMBLE:

ALL WORK IN THESE DRAWING DOCUMENTS SHALL CONFORM TO PART 9 OF BCBC 2018. FURTHER, WARRANTY AND INSURANCE COMPANIES
ARE REQUIRING ALL ASPECTS OF CONSTRUCTION TO FOLLOW 'BEST PRACTICES'. CONFIRM THESE WITH YOUR CARRIER. THESE DRAWINGS ARE A
CONSOLIDATION OF MANY GOVERNING FACTORS, INCLUDING ZONING, POSSIBLY COVENANTS, DEVELOPMENT PERMITS, ETC, AND SO SHOULD
NOT BE DIGRESSED FROM WITHOUT ADDITIONAL CONSULTATION WITH DESIGNER.

IT IS EXPECTED THAT CONTRACTOR OR OWNER/BUILDER WILL HAVE BCBC 2018 IN THEIR POSSESSION.

ENVIRONMENT BCBC 9.27
THIS BUILDING IS DEEMED BY THIS DESIGNER TO NOT WHOLLY MEET COVERAGE OF 2' OVERHANG FOR EVERY 8' WALL, THEREFORE CONSIDERED TO BE IN A WEATHER EXPOSED SITING

EXTERIOR CLADDING WILL BE PART OF A RAIN-SCREEN ASSEMBLY WITH AN INTERIOR'S EALED POLYETHYLENE APPROACH".

9.26 ALSO NOTE BALCONIES AND DECKS WITH SOLID SURFACE ARE DEEMED TO BE ROOFS AND RAILINGS MUST BE FACE MOUNTED.
SEE NOTE ON SHEET REGARDING WINDOW RATING.

DIVISION 1 GENERAL REQUIREMENTS

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF DIV B, PART 9 OF THE BRITISH COLUMBIA BUILDING CODE 2018.

THE CONTRACTOR OR OWNER SHALL OBTAIN ALL PERMITS, LICENSES, AND CERTIFICATES AND PAY ALL NECESSARY FEES FOR THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL GIVE ALL REQUIRED NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, CODES AND ORDERS OF ALL AUTHORITIES HAVING JURISDICTION RELATING TO THE WORK, TO THE PRESERVATION OF PUBLIC HEALTH AND CONSTRUCTION SAFETY WHICH ARE OR BECOME IN FORCE DURING THE PERFORMANCE OF THE WORK.

BUILDING CONTRACTOR WILL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING THE WORK. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES WILL BE REFERRED TO THE DESIGNERS FOR CLARIFICATION. DISCREPANCIES NOT REFERRED BECOME THE RESPONSIBILITY OF THE CONTRACTOR..

02010 SUBSURFACE INVESTIGATION SEEK A GEOTECHNICAL ENGINEER'S OPINION REGARDING EXCAVATION PRIOR TO POURING FOOTINGS IF DEEMED A CONCERN.

02100 EXCAVATION:

A) EXCAVATIONS SHALL BE MADE TO DEPTH AND SIZE REQUIRED FOR FORMWORK, DRAINS, APPLICATIONS OF DAMPPROOFING, ETC., AS SHOWN ON DRAWINGS.

B) EXCAVATIONS FOR FOOTINGS SHALL BE MADE TO SOLID, UNDISTURBED SOIL, AND TO ACCEPTABLE DEPTH BELOW FINAL FINISHED GRADE C) BOTTOMS SHALL BE LEVEL AND FREE OF LOOSE AND ORGANIC MATERIAL AND KEPT FREE OF WATER AT ALL TIMES.

02110 BACKFILL: BCBC 9.12.3

A) BACKFILL OUTSIDE OF FOUNDATION SHALL BE FREE OF DELETERIOUS MATERIAL AND BOULDERS LARGER THAN 50MM DIAMETER WITHIN 0.6M.
B) BACKFILL SHALL BE CAREFULLY PLACED TO AVOID DAMAGE TO PIPES, DRAINS, OR DAMPPROOFING,
GRADED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING.

02140 DEWATERING & DRAINAGE: BCBC 9.14.2, 9.14.3.

A) PERIMETER DRAIN PIPE SHALL BE 4" DIA PERFORATED PVC PIPE SLOPE SHALL BE 6" IN 100 FEET, MINIMUM SIZE OF DRAIN 4" DIA OR AS SHOWN ON DRAWINGS. SHOWN ON DRAWINGS.

B) COVER TOP AND SIDES OF PERIMETER DRAINS WITH CLEAN, COURSE GRANULAR MATERIAL, CONTAINING NOT MORE THAN 10% OF MATERIAL WHICH WILL PASS A 4MM SIEVE TO A MINIMUM DEPTH OF 150MM ABOVE THE TOP OF THE PIPE.

**DIVISION 3** CONCRETE, BCBC 9.3.1, 9.15, 9.16

CONCRETE SHALL BE READY MIXED, WITH COMPRESSIVE STRENGTHS PER BCBC 9.3.1.6.

03100 FORMWORK
FORMS SHALL BE PLYWOOD, CLEAN AND FREE OF SURFACE DEFECTS. FORMWORK SHALL BE CONSTRUCTED TO FORM, LINE AND DIMENSION SHOWN
ON DRAWINGS. FORMWORK SHALL BE PROPERLY BRACED TO MAINTAIN POSITION AND TIGHT ENOUGH TO PREVENT LEAKAGE OF MORTAR.
PROVIDE FOR ALL OPENINGS REQUIRED BY OTHER TRADES, AND INSTALL ALL ANCHORS, BOLTS, HANGERS, ETC. REQUIRED FOR OTHER WORK.

03200 REINFORCEMENT
REINFORCING STEEL SHALL BE CLEAN, INTERMEDIATE GRADE, DEFORMED STEEL BARS. REINFORCING STEEL SHALL BE PLACED AS SHOWN ON DRAWINGS.

03300 CAST IN PLACE CONCRETE

CONCRETE SHALL BE PLACED PROPERLY TO AVOID SEPARATION, VIBRATED AND CURED. FLOOR SLABS SHALL BE MACHINE AND HAND TROWELED
TO A SMOOTH AND PERFECT FINISH. CONCRETE WHERE EXPOSED SHALL HAVE WIRES REMOVED AND IMPERFECT SURFACES FILLED AND PARGED

MOISTURE BARRIER UNDER FLOOR SLAB SHALL BE 6 MIL. POLYETHYLENE , ULTRAVIOLET RAY PROTECTED, JOINTS LAPPED 6" MINIMUM. SEE DIVISION 7 DIVISION 4 UNIT MASONRY BCBC 9.20

SEE STRUCTURAL ENGINEER'S DRAWINGS AND NOTES IF NECESSARY.

4 IOU MATERIALS:
ALL MATERIALS AND WORKMANSHIP TO CONFORM TO BCBC 9.20.2.1
MORTAR: TYPE S MATERIALS AND WORKMANSHIP TO CONFORM TO BCBC 9.20.3.1

04200 WORKMANSHIP:
A) ALL MASONRY WORK SHALL BE TRUE AND PLUMB AND BUILT TO THICKNESS, PATTERN AND BOND AS SHOWN ON DRAWINGS. ENGINEER'S DRAWINGS SHALL TAKE PRECEDENCE. DIRAWINGS SHALL TAKE PRECEDENCE.

B) MORTAR JOINTS SHALL BE IN CONFORMANCE WITH BCBC 9.20.4. INTERIOR BRICK WORK SHALL HAVE RAKED JOINTS AND EXTERIOR WORK TOOLED JOINTS UNLESS OTHERWISE NOTED ON DRAWINGS.

C) ALL WORK SHALL BE WEATHER AND WATER TIGHT. DO NOT LAY BRICK IN TEMPERATURES BELOW 40 DEGREES F. D) BUILD IN ALL FLASHING'S, BOLTS, LINTELS, ETC REQUIRED TO COMPLETE MASONRY WORK OR BY OTHER TRADES.

LEAVE ALL EXPOSED MASONRY CLEAN AND FREE FROM MORTAR DROPPINGS, STAINS, EFFLORESCENCE, ETC. **DIVISION 5 METALS** 

ALL STRUCTURAL METALWORK SHOP-DRAWINGS SHALL BE REVIEWED BY P.ENG.

**DIVISION 6 WOODWORK** 06000 FRAMING CARPENTRY: BCBC 9.23

A) PROTECT ALL STORED MATERIALS FROM THE WEATHER AND DAMAGE.

A) PROTECT ALL STORED MATERIALS FROM THE WEATHER AND DAMAGE.
B) LUMBER FOR FRAMING SHALL CONFORM TO THE FOLLOWING GRADE SCHEDULE:
WALL STUDS #2 SPF F-J OR BETTER
POSTS, BEAMS DF #2 OR BETTER
BLOCKING, BRIDGING UTILITY
ROOF SHEATHING AS NOTED ON DWGS
WALL SHEATHING AS NOTED ON DWGS
WALL SHEATHING AS NOTED ON DWGS
C) IMPORTANT NOTE: FLOOR FRAMING BY ENGINEERED PRODUCTS MUST MEET BCBC1998 VIBRATION CRITERIA. SPECIFIED
FRAMING CONFORMS TO THIS. OTHER MFGRS MUST PROVIDE SEALED PLANS CERTIFYING EQUIVALENT RATING.
D) SHEATHING PAPER SHALL CONFORM TO CGSB NO. 9 - GP 2.
E) ROUGH HARDW ARE SHALL BE SUPPLIED AND INISTALLED AS REQUIRED, INCLUDING ALL NAILS, SPIKES, BOLTS, LAGS, SCREWS, NUTS,
WASHERS ANCHORS OR JOIST HANGERS TO PROPERLY SECURE FRAMING MEMBERS. SEE 9,23.3.4 WASHERS, ANCHORS OR JOIST HANGERS TO PROPERLY SECURE FRAMING MEMBERS. SEE 9.23.3.4

A) ALL FRAMING SHALL CONFORM TO BEST PRACTICE.

A) ALL TIVAMING SHALL ON DUST IN DUST INC.

B) ALL WOOD MEMBERS SHALL BE SEPARATED FROM DIRECT CONTACT WITH CONCRETE OR MASONRY PER BCBC 9.23.2.3

C) SILL PLATES SHALL BE BOLTED TO FOUNDATION WALLS WITH A 5/8" DIA. BOLTS AT 4'-0" O.C.

D) DOUBLE TOP PLATES TO ALL STUD WALLS, LAPPED AT CORNERS AND PARTITIONS.

E) STUD WALLS SHALL BE SOLID AT ALL CORNERS AND WELL BLOCKED, DOUBLE STUDS AT OPENINGS. CUT AND NAIL ONE ROW OF GIRT'S AT

WILD-TILLIGHT.

F) INSTALL BLOCKING BETWEEN STUDS FOR ALL FIXTURES ACCESSORIES BACKSPLASHES FTC. G) CAULK ALL JOINTS WHERE REQUIRED FOR WEATHERPROOFING WITH AN APPROVED CAULKING COMPOUND.

H) WOOD GROUNDS WHERE REQUIRED SHALL BE CORRECT SIZE FOR WALL FINISH USED.

A) PROTECT ALL WORK FROM THE WEATHER AND DAMAGE. B) INSTALL ALL DOORS AND WINDOWS AS NOTED ON DRAWINGS. C) INSTALL ALL HARDWARE.

A) EXTERIOR CASING AND TRIM SHALL BE KD DOUGLAS FIR 'B OR BETTER' OR AS NOTED ON DRAWINGS.

B) INTERIOR WOOD TRIMS AND CASINGS SHALL BE KD DOUGLAS FIR 'B OR BETTER'.

C) DOOR FRAMES, CASING, WOOD BASE, AND ALL OTHER INTERIOR TRIM SHALL BE KD DOUGLAS FIR 'B OR BETTER'.

06500 W ORKMANSHIP:
A) MILLWORK AND FINISH CARPENTRY SHALL BE EXPERT W ORKMANSHIP, FREE FROM DEFECTIVE WORK OR MATERIALS. B) ALL FINISHING WORK SHALL BE SMOOTH AND FREE OF MACHINE AND TOOL MARKS, MITRE CORNERS, SCRIBING AND JOINING SHALL BE ACCURATE AND NEAT. JOINTS IN FASCIAS, VALANCES, AND SIDING SHALL BE MITERED. DOOR AND WINDOW CASINGS SHALL BE OF SINGLE LENGTH WITHOUT JOINING. C) FINISH HARDWARE SHALL BE INSTALLED TO MANUFACTURER'S DIRECTIONS AND ACCURATELY FITTED AND ADJUSTED.

DIVISION 7 THERMAL AND MOISTURE PROTECTION BCBC 9.13

07000 WATERPROOFING:
A) MOISTURE PROOFING OF FOUNDATION WALLS INCLUDED IN THIS SECTION.
B) MOISTURE BARRIER TO CONCRETE SLABS IS SPECIFIED UNDER DIVISION 3, CONCRETE.

MATERIALS SHALL CONFORM TO THE SECTION 9.13.2.1 WORKMANSHIP AND APPLICATION
A) SHALL CONFORM TO SECTION 9.13.1.4

07500 ROOFING AND SHEET METAL: BCBC 9.26 A) PROVIDE ALL ROOFING AND SHEET METAL WORK INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS.
B) LEAD FLASHING'S TO PLUMBING VENTS TO BE SUPPLIED BY THE PLUMBING CONTRACTOR.

MATERIALS:

A) ALL MATERIALS FOR THE MEMBRANE ROOFING SHALL CONFORM TO THE APPLICABLE CSA AND CGSB STANDARD SPECIFICATIONS AS LISTED IN THE MSMRCA STANDARDS MANUAL.

B) METAL FLASHING SHALL BE 26 GAUGE G.1 TO DETAIL OR AS REQUIRED, END JOINS TO BE FLAT LOCKED SEAMS.

C) RAIN WATER LEADERS SHALL CONFORM TO BCBC 9.26.18.2, CONNECTED TO ROOF DRAINS OR GUTTERS.

D) ROOF DRAINS IN FLAT ROOFS SHALL BE SUPPLEMENTED BY SCUPPERS.

E) ROOF DECK INSULATION SHALL BE: 2" ROOFMATE BY DOW CHEMICAL. SURCO SEAL BY DURADEK ON 3/4" PLYWOOD.

A) SHEET METAL SHALL BE DONE IN A THOROUGH AND WORKMANLIKE MANNER, NEATLY AND CAREFULLY FORMED TO SUIT DETAILS AND TO THE MSMRCA SPECIFICATIONS.

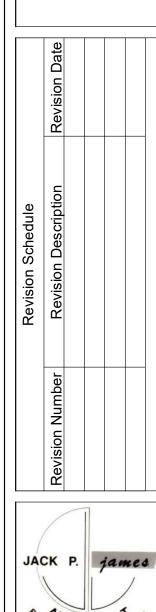
MATERIALS SHALL CONFORM TO: BCBC 9.25.2.2

WORKMANSHIP: CARE SHOULD BE TAKEN TO ENSURE NO REQUIRED VENTING SPACES ARE OBSTRUCTED BY THE INSULATION.

07900 AIR & VAPOR BARRIER BCBC 9.25.4

MATERIALS SHALL CONFIRM TO SECTION 9.25.4.2, UV RESISTANT POLYETHYLENE.

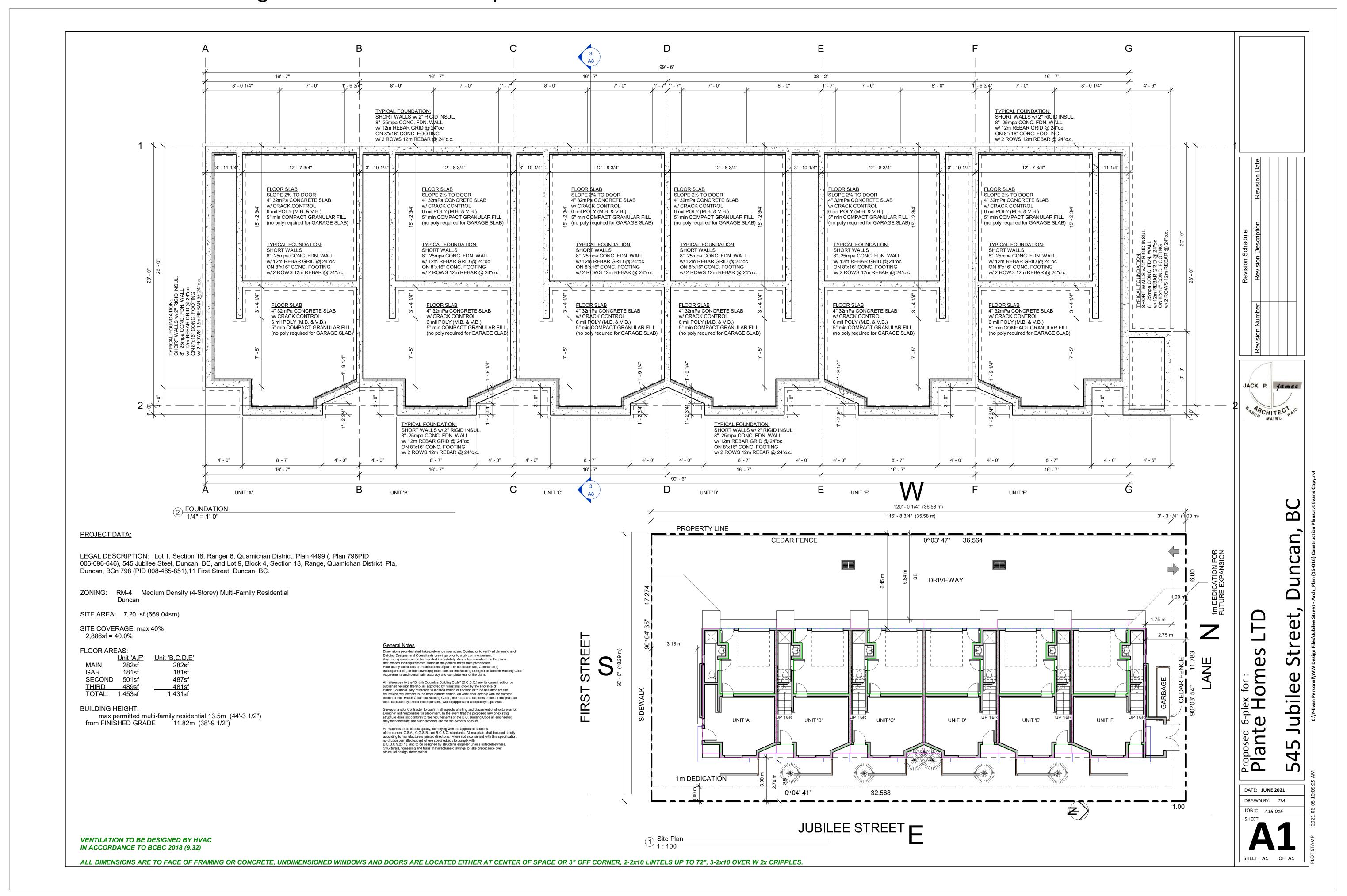


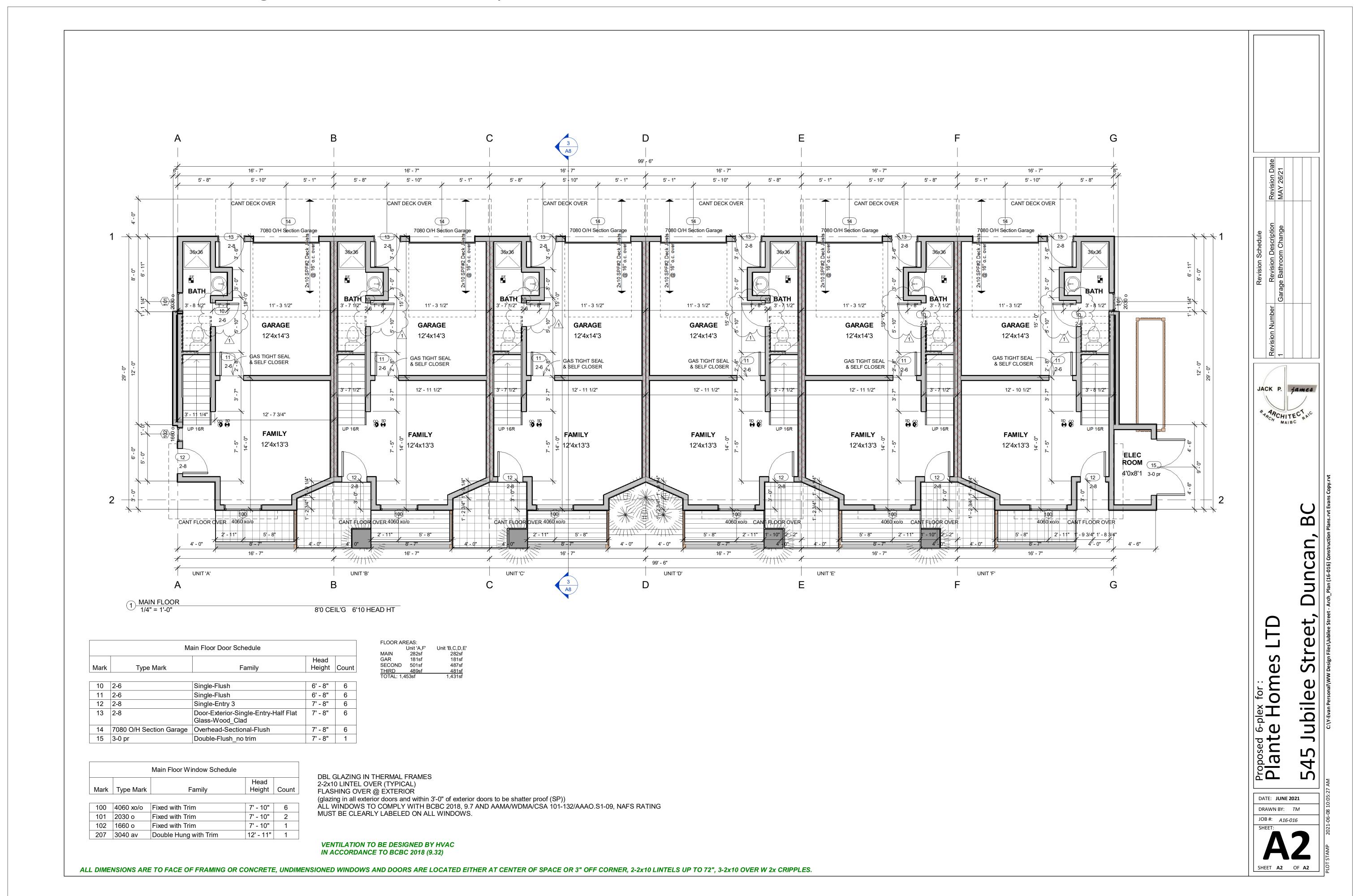


AACHITECT AN

Dunc

اج **ح** DATE: **JUNE 2021** DRAWN BY: Author JOB #: A16-016

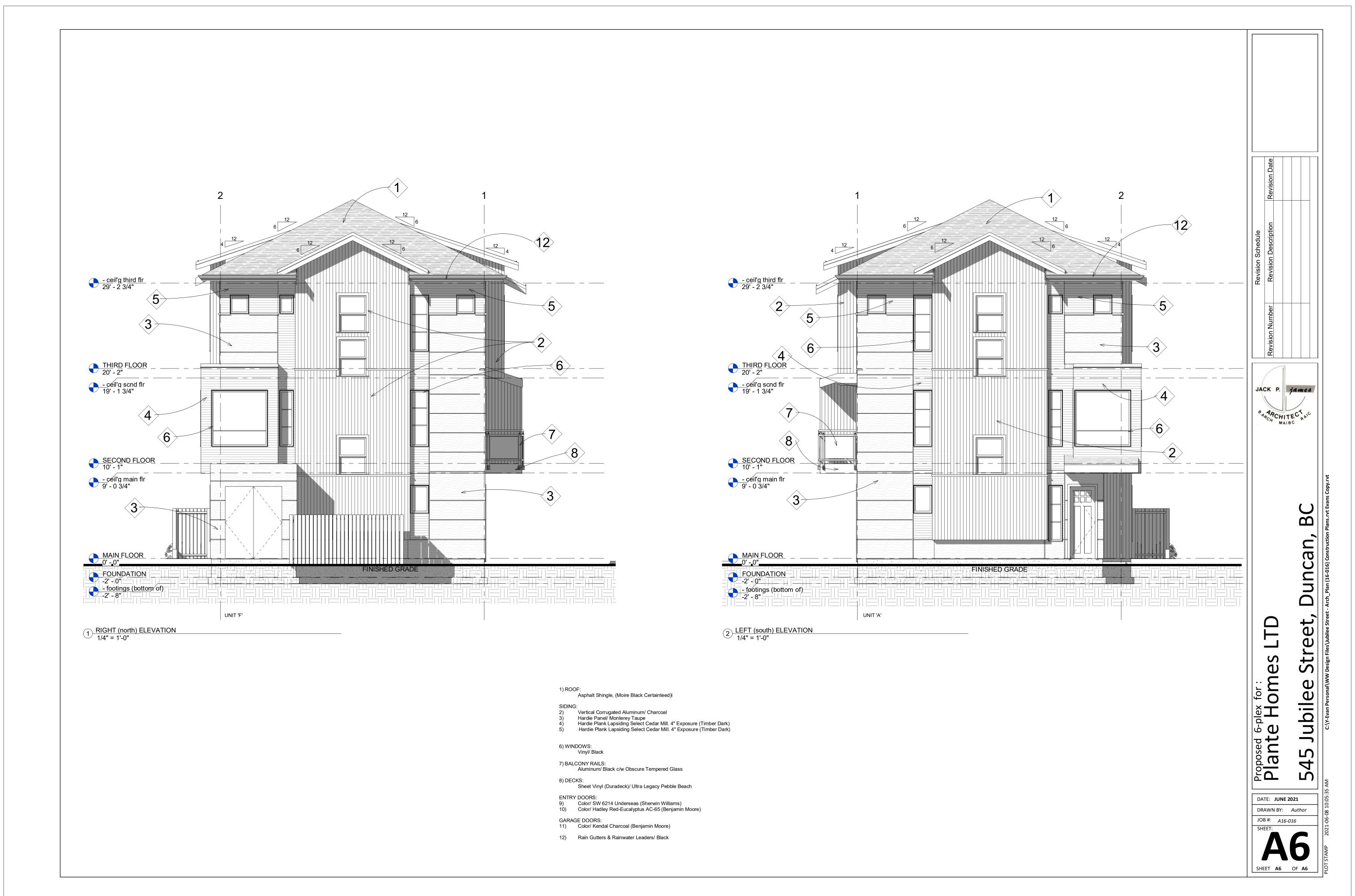




Schedule B: Building Elevations and Landscape Plan



Schedule B: Building Elevations and Landscape Plan



Schedule B: Building Elevations and Landscape Plan



