

## DRAFT DEVELOPMENT PERMIT WITH VARIANCES

**Permit No:** DP-2021-02

**Registered Owner:** Plante Development Ltd.

**Subject Property:** 545 Jubilee St, Duncan BC, V9L 1X3

**Description of Land:**  
 Parcel Identifier: 029-856-221  
 Legal Description: **LOT A, SECTION 18, RANGE 6, QUAMICHAN DISTRICT, PLAN EPP62839**

**Proposal:** Major Development Permit with Variances – New Residential Building

### Conditions of Permit:

1. This permit is issued subject to compliance with all relevant City of Duncan bylaws, except as specifically varied or supplemented by this Permit.
2. This permit applies to the lands described above, and any buildings, structures, and other development thereon (hereinafter called 'the Lands').
3. The Lands and building which are subject to this Permit shall be developed strictly in accordance with the terms and conditions of this Permit and in accordance with the following schedules:

**Schedule A – Site Plan**

**Schedule B – Building Elevations and Landscape Plan**

4. This Development Variance Permit includes the following variances to City Bylaws:

Zoning Bylaw No. 3166, 2017 Variances:

Section	Requested Variance	Bylaw	Proposed
4.11.1	Front Yard Setback	3.0 m	<b>1.7 m</b>
4.11.1	Interior Side Yard Setback	1.5 m	<b>1.0 m</b>
3.32.1	Percentage of Small Car Parking Spaces	50%	<b>100%</b>
3.32.1	Minimum Two-way Drive-aisle Width	6.5 m	<b>6.45 m</b>
3.31.1	Minimum Number of Required Parking Spaces	7	<b>6</b>
3.30.1	Minimum Number of Visitor Parking Spaces	1	<b>0</b>

Works and Services Bylaw No. 3158, 2017 Variances:

Section	Requested Variance	Bylaw	Proposed
5.1.1	Minimum Common Driveway Width	6.0 m	<b>3.8 m</b>

5. As conditions of this permit, and prior to the issuance of a Building Permit, the following must be provided as shown:
  - a) A landscape works and materials estimate subject to the approval of the Manager of Planning and a security deposit in the form of a cash deposit or letter of credit valued at 125% of the hard and soft landscaping costs for development of a new parking space as shown on Schedule A, as authorized by Section 502 of the *Local Government Act*, to ensure that any conditions with respect to landscaping are satisfied or to ensure that no conditions of the Permit are being breached resulting in an unsafe condition of the Land;
  - b) Works and Services fees and security deposits, as determined by Public Works and Engineering;
  - c) A covenant to provide shared access for the future redevelopment of 231 First Street.
6. Where the City of Duncan considers that:
  - a) *A condition in the Permit with respect to landscaping has not been satisfied, or*
  - b) *where, as a result of the contravention of a condition in a Permit, an unsafe condition has resulted.*

The City of Duncan may undertake and complete the works required to satisfy the landscaping condition or carry out any construction required to correct the unsafe condition, at the cost of the Permit holder, and may apply the security in payment of the cost of the works with any excess to be returned to the Permit holder.
7. Pursuant to section 504(2) of the *Local Government Act*, this permit will lapse two years from the date of the Development Permit approval unless construction, in accordance with the terms and conditions of this permit, has substantially started.
8. This permit is not a Building Permit.
9. Further to condition 7, construction is considered to be substantially started when a valid Building Permit for the development has been issued and shall not have lapsed; and excavation or construction works associated with the development hereby approved may have commenced to the satisfaction of the Director of Development Services. Demolition does not constitute construction.
10. Where any security is required by the City of Duncan, the security provided by the Permit holder is to be submitted at the time of Building Permit application submission.
11. Where the development authorized by this Permit has lapsed prior to commencement of any work pursuant to this Permit, the security shall be returned to the Permit holder.

**Date of Development Permit Approval/Issue by Council or its Delegate:**

This permit was approved on **June --, 2021.**

This permit expires on **June --, 2023.**

The City of Duncan

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**Corporate Officer**

**I HEREBY CERTIFY that I have read the terms and conditions of the Development Permit contained herein. I understand and agree that the City of Duncan has made no representations, covenants, warranties, guarantees, promises, or agreements (verbal or otherwise) with Kyle Plante, Plante Development Ltd., other than those contained in this Permit.**

\_\_\_\_\_  
**Owner/Agent (signature)**

\_\_\_\_\_  
**Witness (signature)**

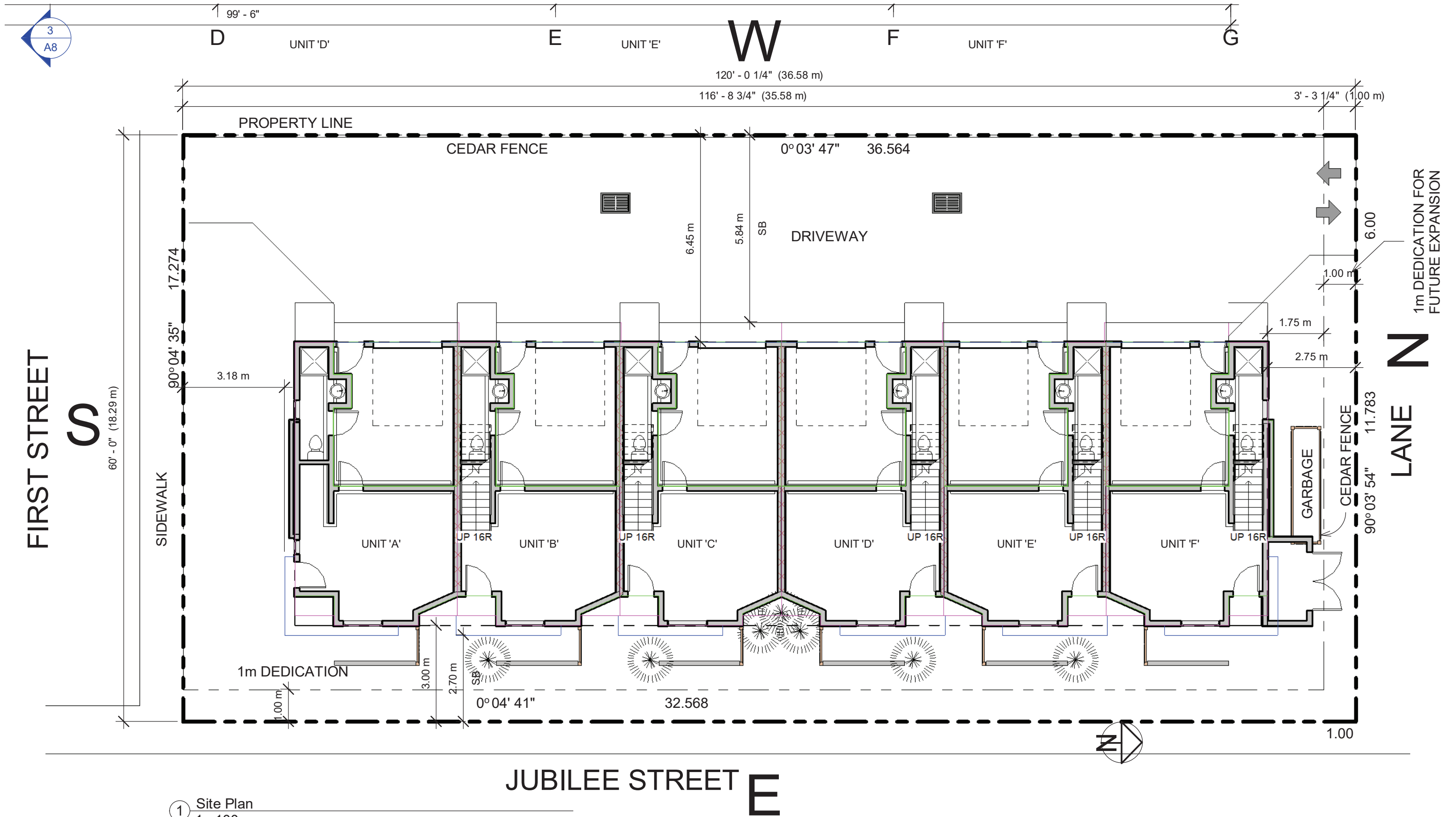
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**Print Name**

\_\_\_\_\_  
**Print Name**

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**Date**

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**Date**

Schedule A: Site Plan



1 Site Plan  
1 : 100

Schedule B: Building Elevations and Landscape Plan

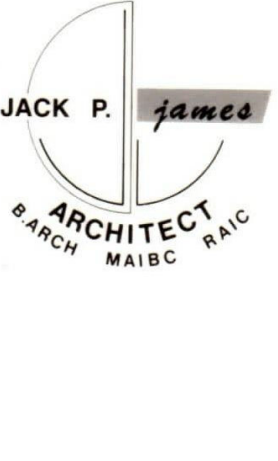
GENERAL NOTES

OWNER AND CONTRACTOR SHALL REVIEW THIS SPECIFICATION DOCUMENT... NOTE AND RETAIN ANY MUTUALLY AGREED UPON CHANGES IF NOT ALREADY PART OF DRAWING SET... PRELIMINARY: ALL WORK IN THESE DRAWING DOCUMENTS SHALL CONFORM TO PART 9 OF BCBC 2018... DIVISION 1 GENERAL REQUIREMENTS... DIVISION 2 SITE WORK - EXISTING CONDITIONS... DIVISION 3 CONCRETE... DIVISION 4 UNIT MASONRY... DIVISION 5 METALS... DIVISION 6 WOODWORK... DIVISION 7 THERMAL AND MOISTURE PROTECTION...



Table with 2 columns: Revision Number, Revision Date. Contains one empty row.

Table with 2 columns: Revision Schedule, Revision Description. Contains one empty row.

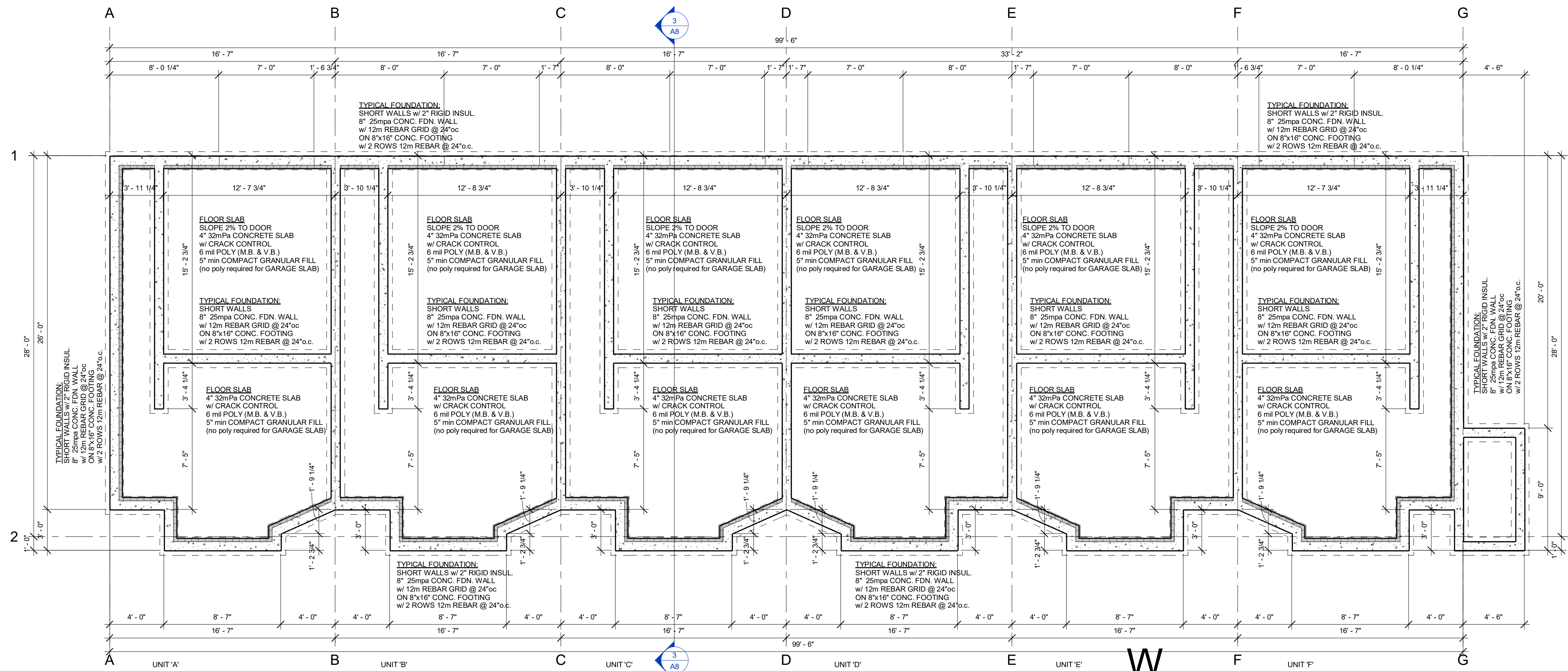


Proposed 6-plex for: Plante Homes LTD, 545 Jubilee Street, Duncan, BC

DATE: JUNE 2021  
DRAWN BY: Author  
JOB #: A16-016  
SHEET: A0 OF A0

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Schedule B: Building Elevations and Landscape Plan



② FOUNDATION  
1/4" = 1'-0"

PROJECT DATA:

LEGAL DESCRIPTION: Lot 1, Section 18, Ranger 6, Quamichan District, Plan 4499 (Plan 798PID 006-096-646), 545 Jubilee Street, Duncan, BC, and Lot 9, Block 4, Section 18, Range, Quamichan District, Plan 4499 (Plan 798PID 008-465-851), 11 First Street, Duncan, BC.

ZONING: RM-4 Medium Density (4-Storey) Multi-Family Residential  
Duncan

SITE AREA: 7,201sf (669.04sm)

SITE COVERAGE: max 40%  
2,886sf = 40.0%

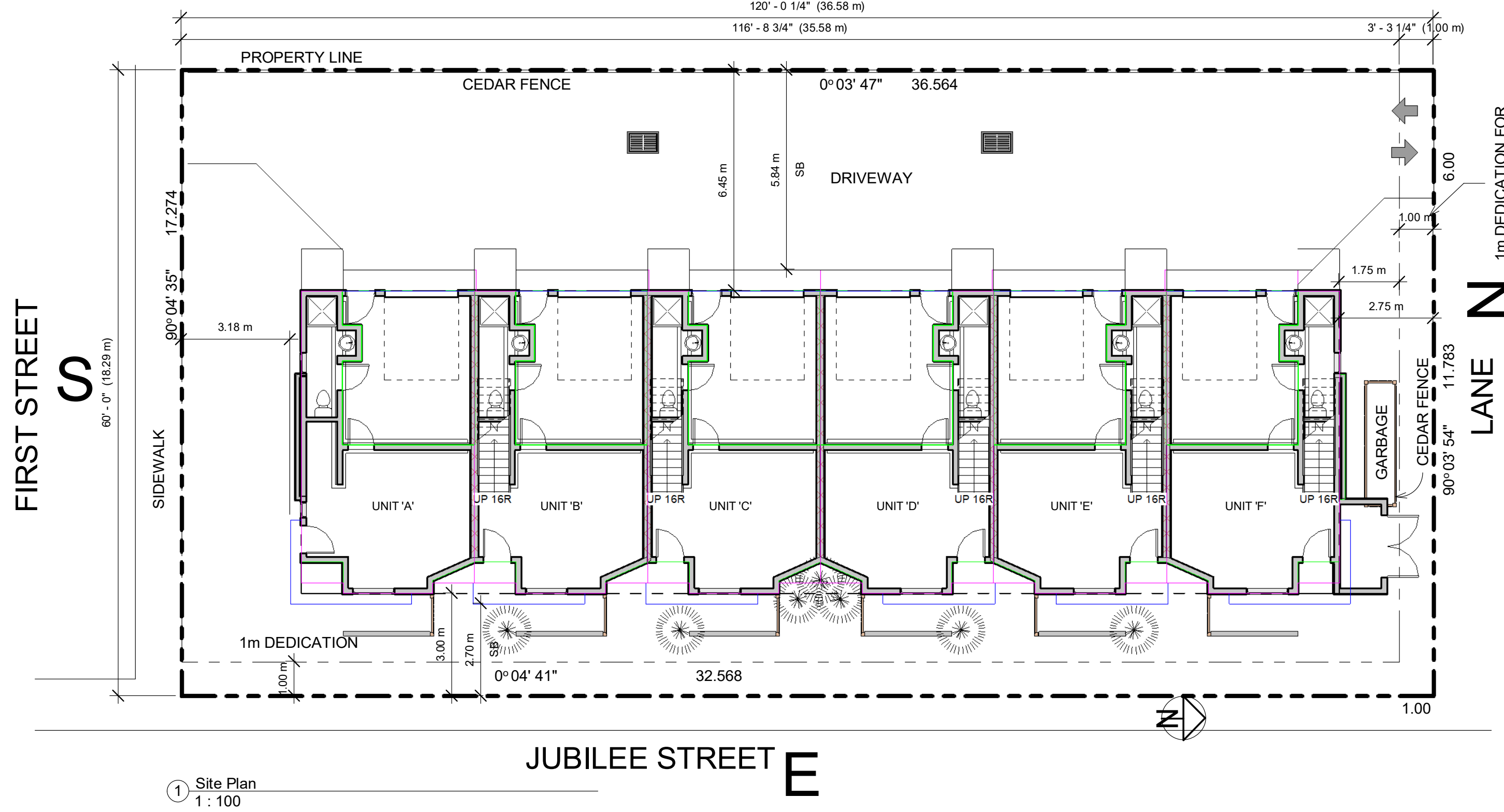
FLOOR AREAS:

	Unit 'A,E'	Unit 'B,C,D,F'
MAIN	282sf	282sf
GAR	181sf	181sf
SECOND	501sf	487sf
THIRD	489sf	481sf
TOTAL	1,453sf	1,431sf

BUILDING HEIGHT:  
max permitted multi-family residential 13.5m (44'-3 1/2")  
from FINISHED GRADE 11.82m (38'-9 1/2")

General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes shown on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details on-site, Contractor's independent(s) or homeowner(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans. All references to the "British Columbia Building Code" (B.C.B.C.) use its current edition or published revision thereto, as approved by ministerial order by the Province of British Columbia. Any reference to a dated edition or revision to be assumed for the equipment requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised. Surveyor or other Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account. All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.G.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturer's general directions, when not inconsistent with this specification. B.C.B.C. 9.3.13, and to be designed by structural engineer unless noted elsewhere. Structural Engineering and truss manufacturer drawings to take precedence over structural design related within.

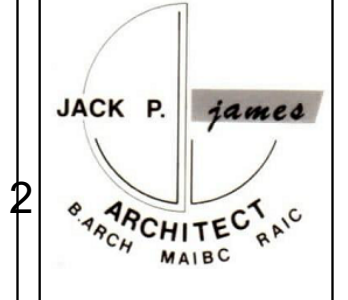


① Site Plan  
1:100

VENTILATION TO BE DESIGNED BY HVAC  
IN ACCORDANCE TO BCBC 2018 (9.32)

ALL DIMENSIONS ARE TO FACE OF FRAMING OR CONCRETE, UNDIMENSIONED WINDOWS AND DOORS ARE LOCATED EITHER AT CENTER OF SPACE OR 3" OFF CORNER, 2-2x10 LINTELS UP TO 72", 3-2x10 OVER W 2x CRIPPLES.

Revision Number	Revision Description	Revision Date

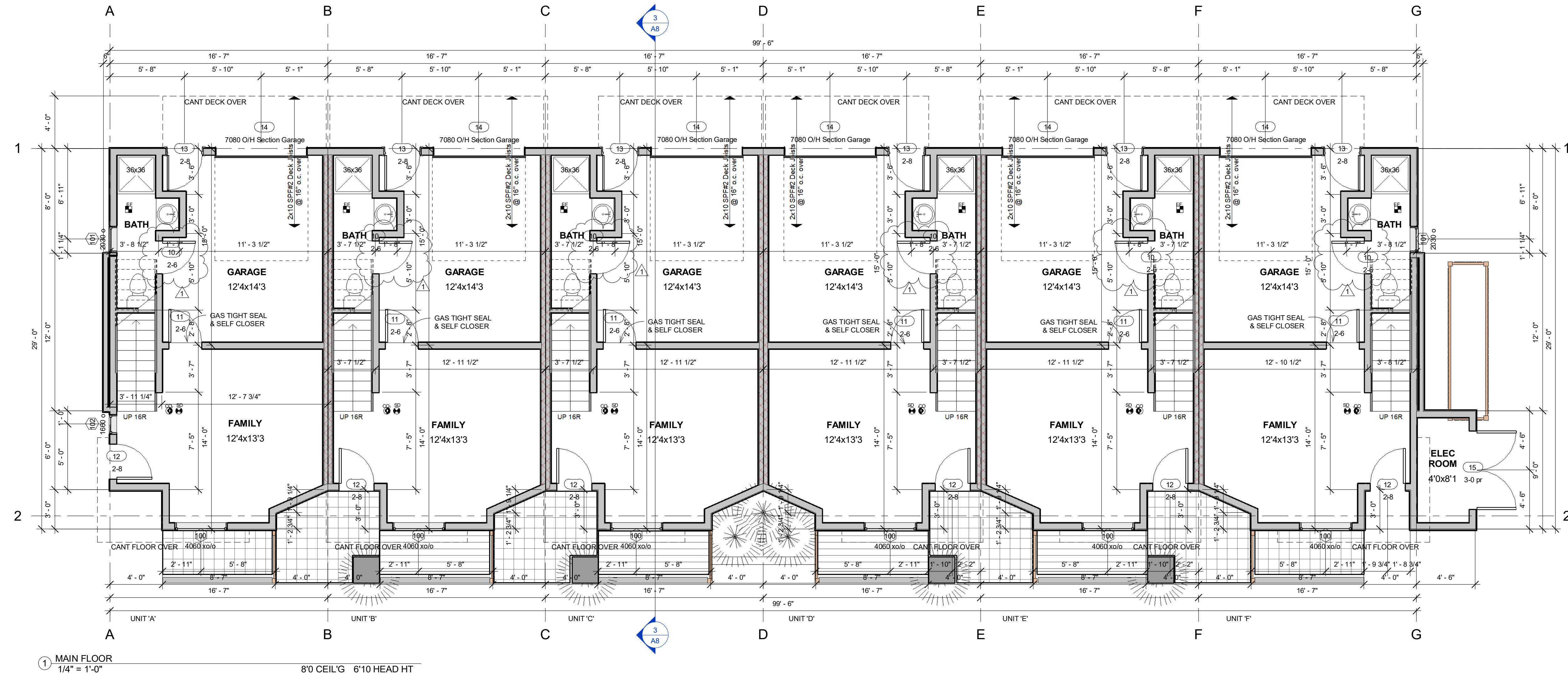


Proposed 6-plex for:  
**Plante Homes LTD**  
545 Jubilee Street, Duncan, BC

DATE: JUNE 2021  
DRAWN BY: TM  
JOB #: A16-016  
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SHEET A1 OF A1

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Schedule B: Building Elevations and Landscape Plan



Mark	Type Mark	Family	Head Height	Count
10	2-6	Single-Flush	6' - 8"	6
11	2-6	Single-Flush	6' - 8"	6
12	2-8	Single-Entry 3	7' - 8"	6
13	2-8	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	7' - 8"	6
14	7080 O/H Section Garage	Overhead-Sectional-Flush	7' - 8"	6
15	3-0 pr	Double-Flush_no trim	7' - 8"	1

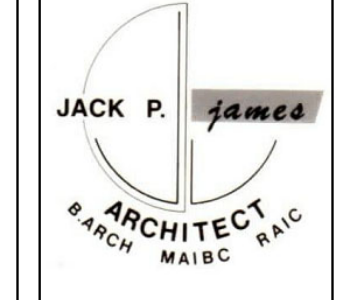
Mark	Type Mark	Family	Head Height	Count
100	4060 xo/o	Fixed with Trim	7' - 10"	6
101	2030 o	Fixed with Trim	7' - 10"	2
102	1660 o	Fixed with Trim	7' - 10"	1
207	3040 av	Double Hung with Trim	12' - 11"	1

DBL GLAZING IN THERMAL FRAMES  
 2-2x10 LINTEL OVER (TYPICAL)  
 FLASHING OVER @ EXTERIOR  
 (glazing in all exterior doors and within 3'-0" of exterior doors to be shatter proof (SP))  
 ALL WINDOWS TO COMPLY WITH BCBC 2018, 9.7 AND AAMA/WDMA/CSA 101-132/AAA0.S1-09, NAFS RATING  
 MUST BE CLEARLY LABELED ON ALL WINDOWS.

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Revision Schedule	Revision Description	Revision Date
1	Garage Bathroom Change	MAY 26/21



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**A2**  
 SHEET A2 OF A2

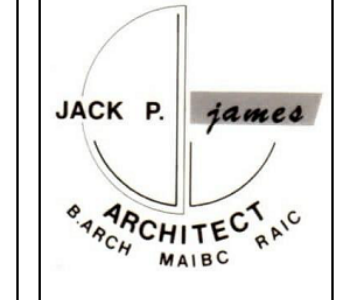
Schedule B: Building Elevations and Landscape Plan



1 FRONT (east) ELEVATION  
1/4" = 1'-0"

- 1) ROOF:  
Asphalt Shingle, (Moire Black Certainteed)
- SIDING:  
2) Vertical Corrugated Aluminum/ Charcoal  
3) Hardie Panel/ Monterey Taupe  
4) Hardie Plank Lapsiding Select Cedar Mill, 4" Exposure (Timber Dark)  
5) Hardie Plank Lapsiding Select Cedar Mill, 4" Exposure (Timber Dark)
- 6) WINDOWS:  
Vinyl/ Black
- 7) BALCONY RAILS:  
Aluminum/ Black c/w Obscure Tempered Glass
- 8) DECKS:  
Sheet Vinyl (Duradeck)/ Ultra Legacy Pebble Beach
- ENTRY DOORS:  
9) Color/ SW 6214 Underseas (Sherwin Williams)  
10) Color/ Hadley Red-Eucalyptus AC-65 (Benjamin Moore)
- GARAGE DOORS:  
11) Color/ Kendal Charcoal (Benjamin Moore)  
12) Rain Gutters & Rainwater Leaders/ Black

Revision Number	Revision Description	Revision Date



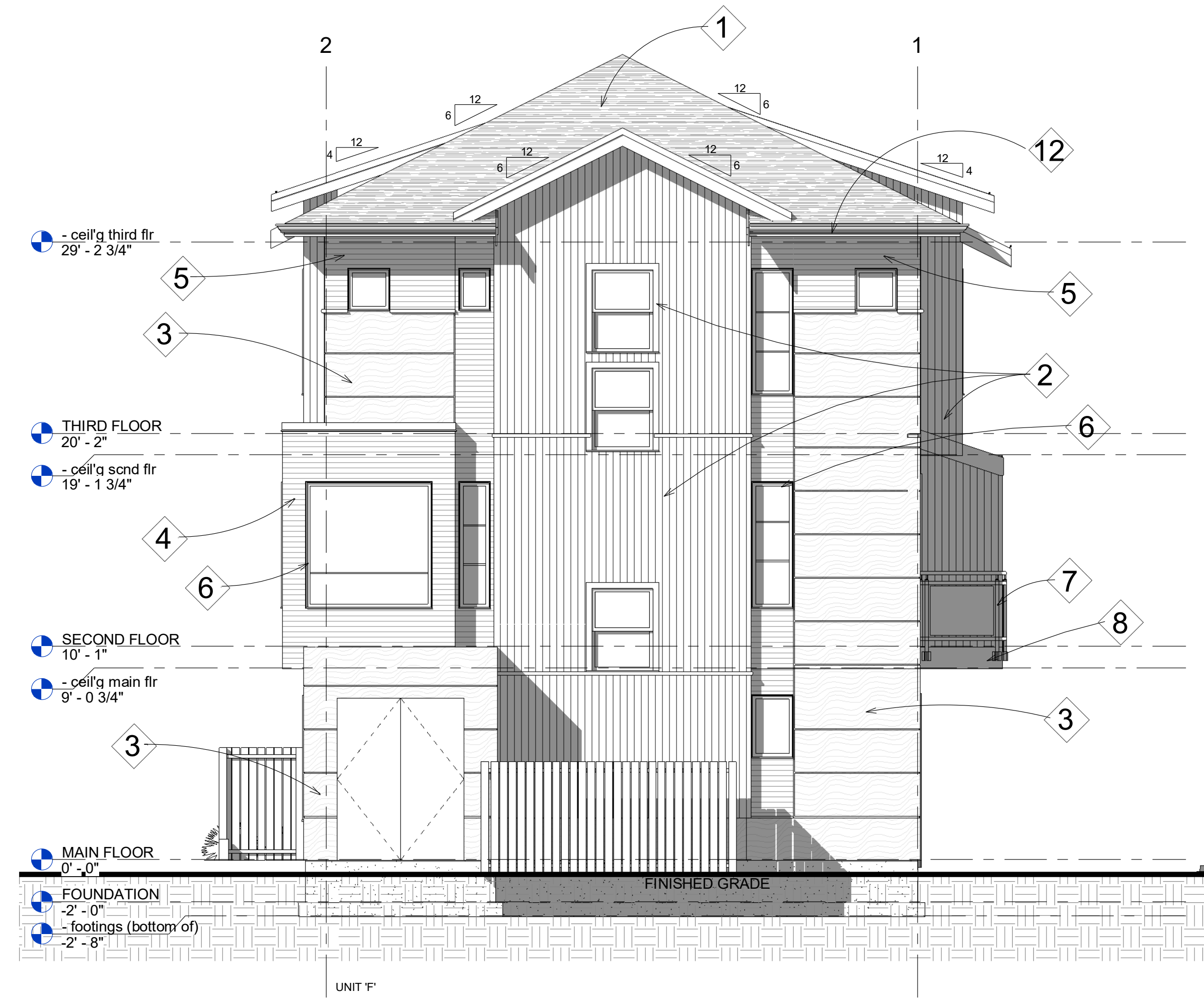
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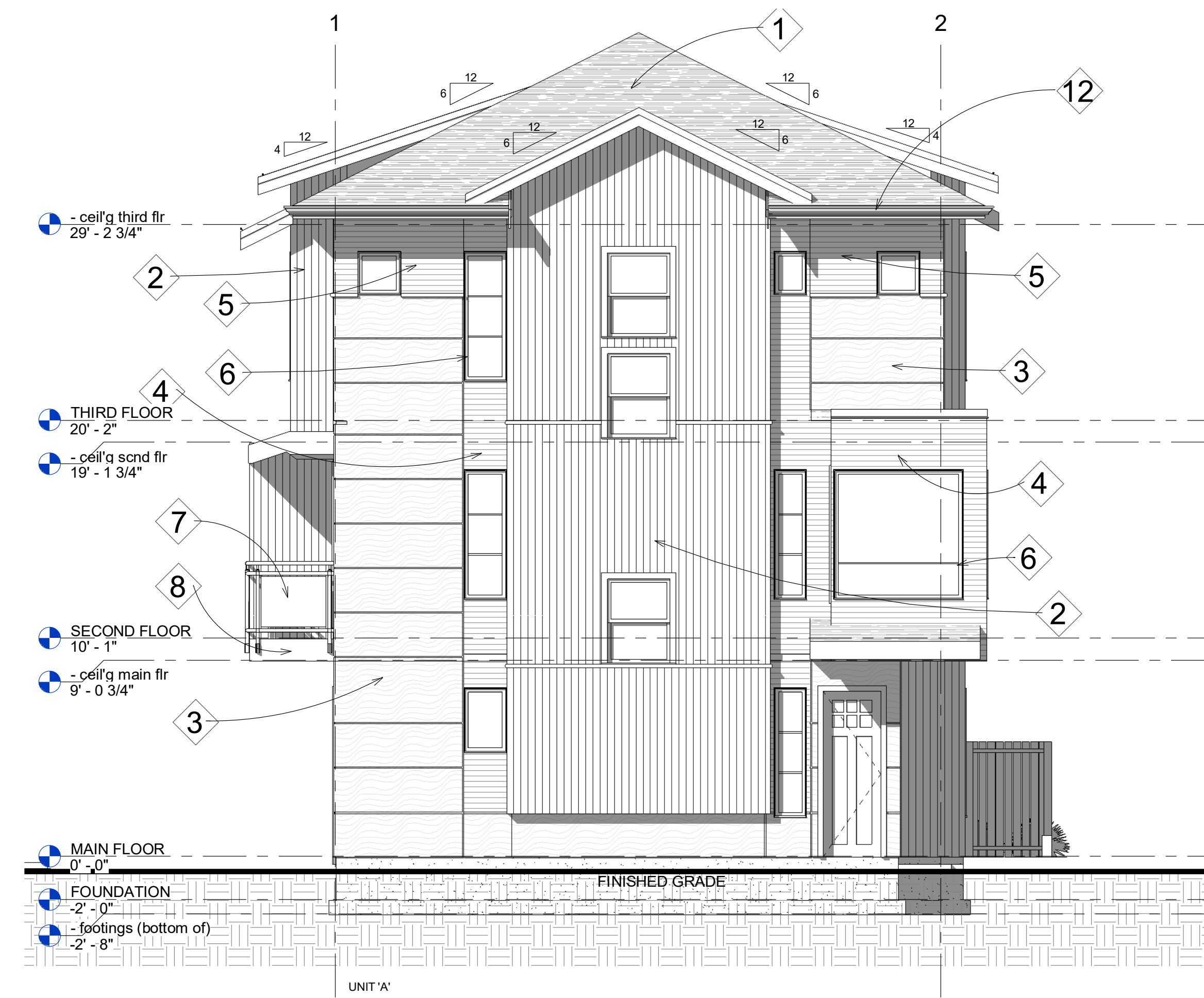
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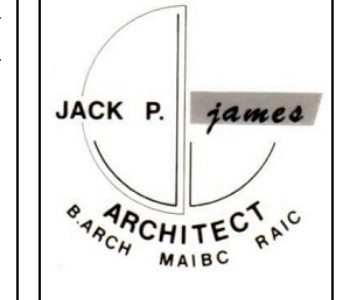
1 RIGHT (north) ELEVATION  
1/4" = 1'-0"



2 LEFT (south) ELEVATION  
1/4" = 1'-0"

- 1) ROOF:  
Asphalt Shingle, (Moire Black Certainteed)
- SIDING:  
2) Vertical Corrugated Aluminum/ Charcoal  
3) Hardie Panel/ Monterey Taupe  
4) Hardie Plank Lapsiding Select Cedar Mill, 4" Exposure (Timber Dark)  
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JOB #: A16-016  
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SHEET A6 OF A6

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Schedule B: Building Elevations and Landscape Plan



1 REAR (west) ELEVATION  
1/4" = 1'-0"

- 1) ROOF:  
Asphalt Shingle, (Moire Black Certainteed)
- SIDING:  
2) Vertical Corrugated Aluminum/ Charcoal  
3) Hardie Panel/ Monterey Taupe  
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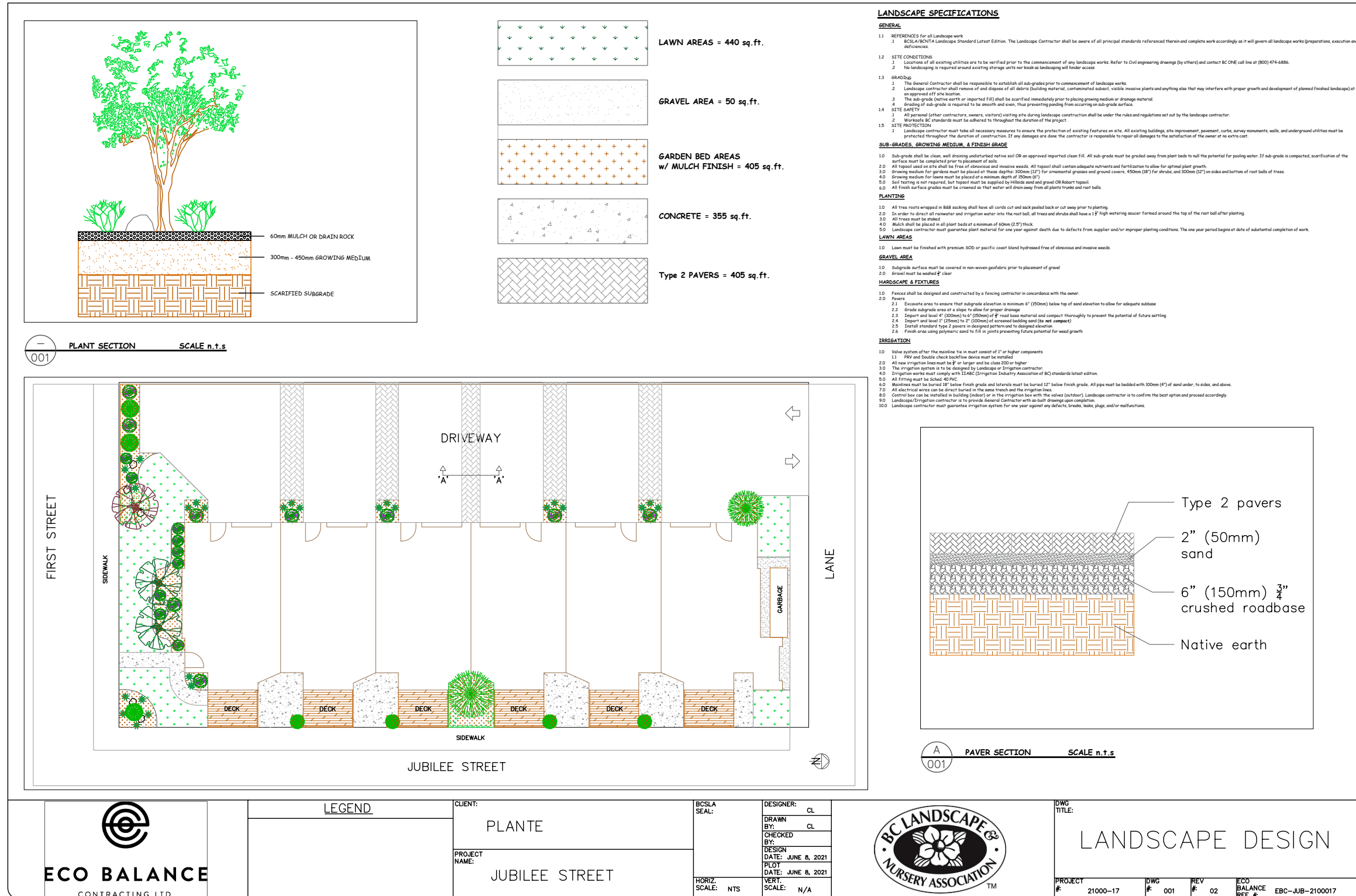


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Schedule B: Building Elevations and Landscape Plan



Schedule B: Building Elevations and Landscape Plan

