

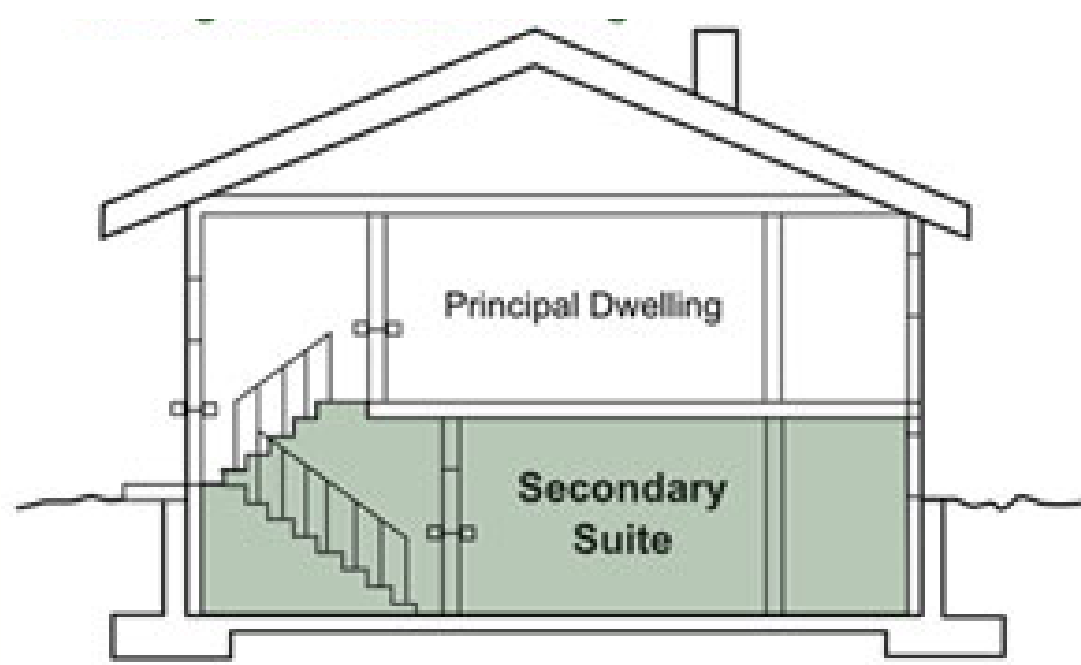
SECONDARY SUITE REGULATIONS

What is a Secondary Suite

There are two main forms of Secondary Suites:



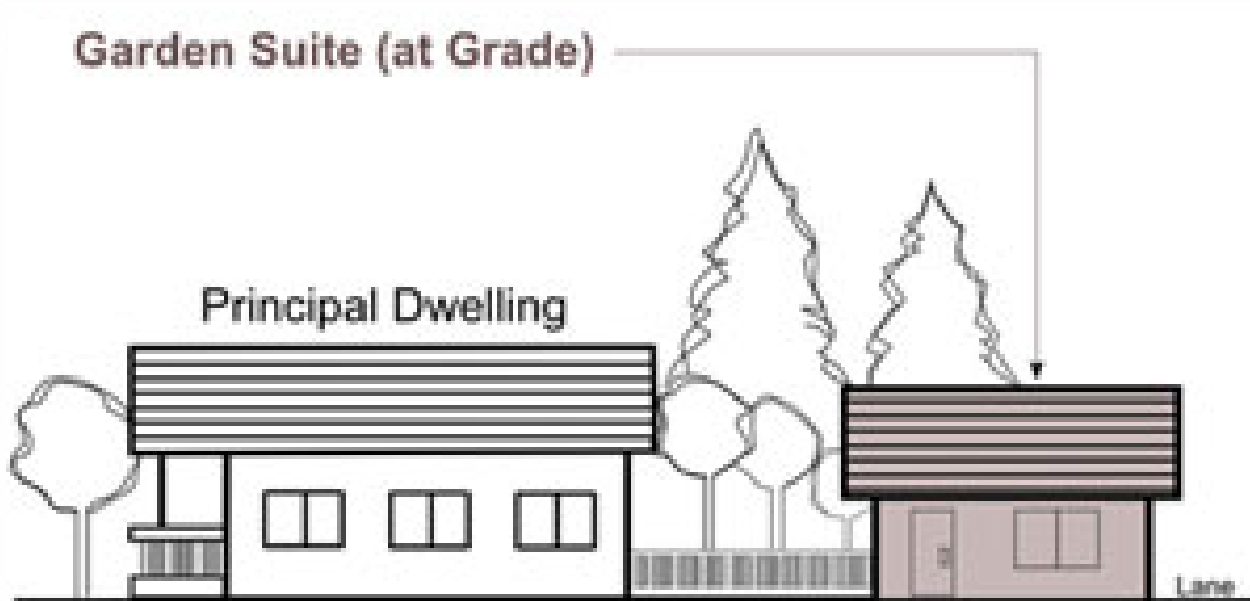
1



ATTACHED SECONDARY SUITE

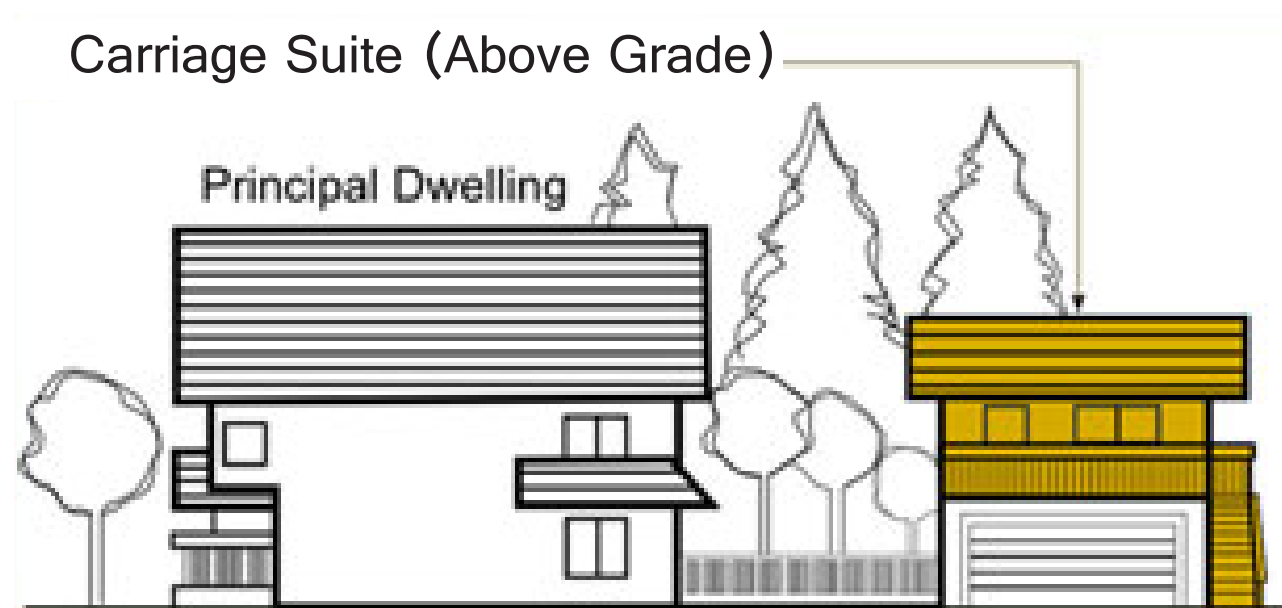
Additional but separate dwelling units contained within an existing principle single family residential structure (also known as in-house suites).

2



DETACHED SECONDARY SUITE

GARDEN SUITE: A free-standing single-unit accessory building, located behind the primary single family residential dwelling.



CARRIAGE SUITE: A two-storey accessory building consisting of a residential unit built over a garage or carport, located behind the primary single family residential dwelling.

What type of secondary suite is permitted?

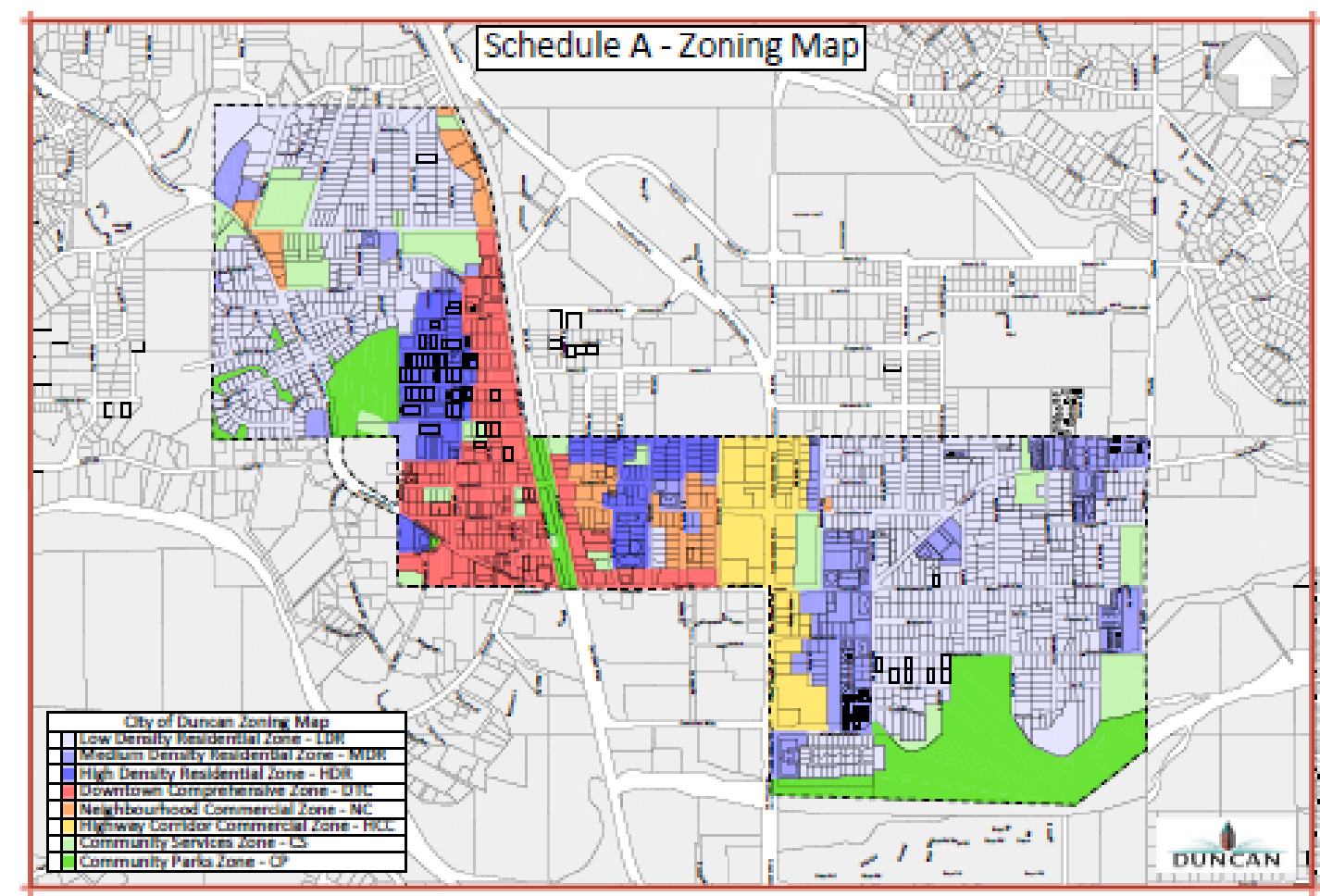
The City of Duncan Zoning Bylaw No. 3166, 2017 zoning bylaw permits all of the above forms of secondary suites in the Low Density Residential (LDR) Zone. All secondary suites must meet the regulations for setbacks, size, height, siting and lot size as set out in the Zoning Bylaw.



In what zones are secondary suites permitted?

Secondary suites are permitted in the following zones:

LDR Low Density Residential



A large format map can accessed via the City Website or at City Hall

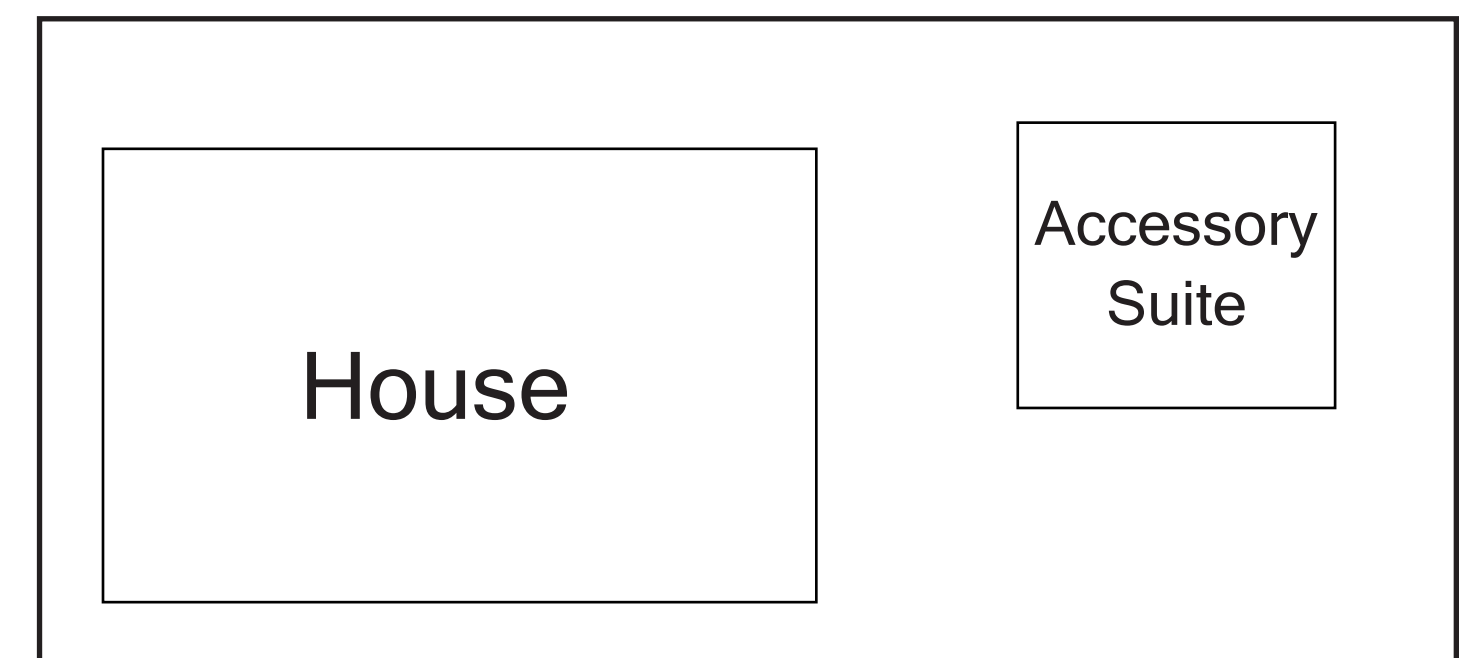
What are the benefits of secondary suite unit?

Secondary suites may provide:

1. Increased housing options for renters;
2. Additional stream of income for home owners; and
3. Increased property value.

How big does my lot have to be to qualify?

Secondary suites are permitted on all lots in the LDR Zone. However, lot size will determine which secondary suite options can be accommodated. Detached suites require a minimum 600m² lot size.



How large can a secondary suite be?

ATTACHED SUITE - Can be no larger than 40% of the gross floor area of the single family dwelling, or 90 square meters (968 square feet) - whichever is less.

Example: Main Dwelling Unit = 1200sf Total SFD Area = 2000sf
Secondary Suite Unit = 800sf Suite Percentage = 40%

DETACHED SUITE - Can be no larger than 60% of the gross floor area of the single family dwelling, or 90 square meters (968 square feet) - whichever is less. Detached suites may not result in parcel coverage beyond 40% for all structures.

Example: Main Dwelling Unit = 1200sf Total SFD Area = 1200sf
Detached Suite Unit = 720sf Suite Percentage = 60%

* Not more than one secondary suite (attached or detached) may be permitted per principle single family residential dwelling on a lot.



Do I need to provide parking for my secondary suite?

One additional off-street parking space is required per secondary suite, whether is an attached suite or detached suite. Two additional parking spaces are required for the principal dwelling unit.

What additional regulations must be met?

All forms of secondary suites must meet Building Code and Floodplain building requirements if applicable. Appropriate service availability, including water sizing, sewer size and grading, must be confirmed and upgraded if necessary at the cost of the property owner.



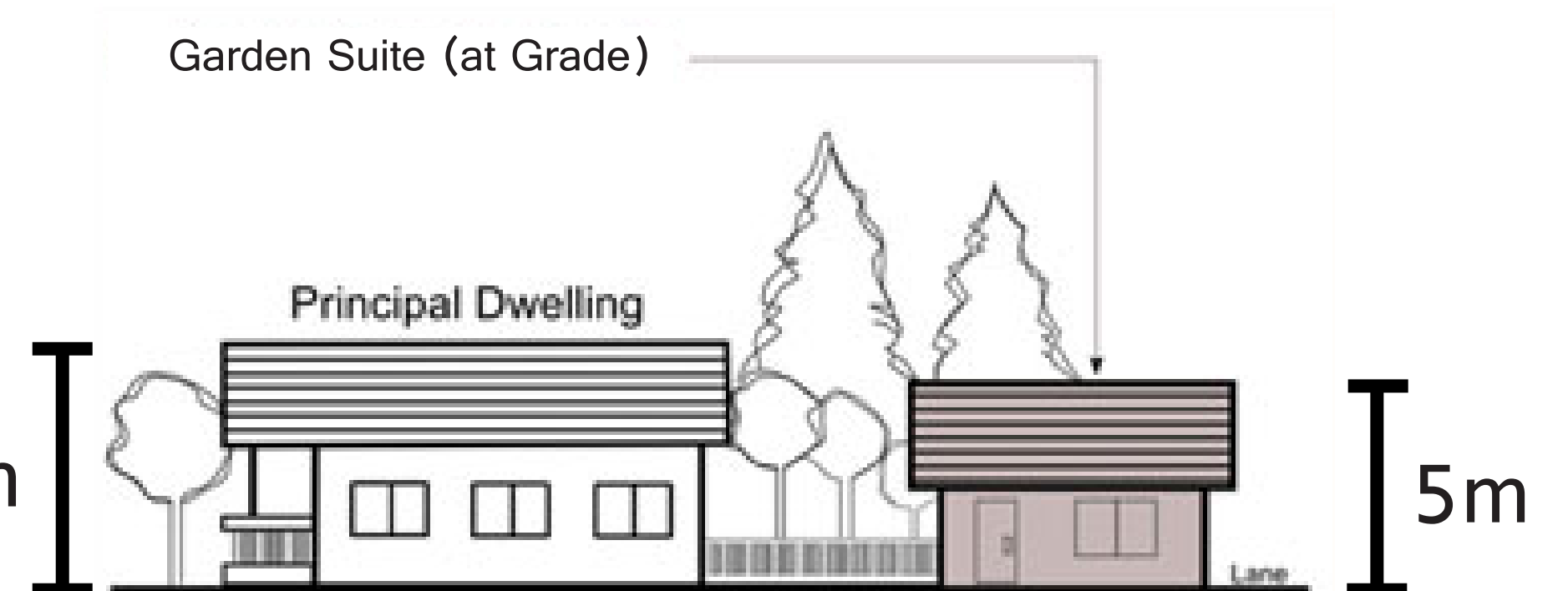
ADDITIONAL FACTS ABOUT DETACHED SUITES

Do I need to get insurance for my detached suite?

Detached suites must meet the requirements of the Homeowner Protection Office for home warranty insurance. See attached form.

What are the height regulations for detached suites?

Garden suites may not exceed the permitted accessory building height requirements of 5m to the top of the roof. A carriage house suite must not exceed; 6m for flat roof buildings, or 7.5m for structures with a roof pitch no less than 8:12.



What are the setback regulations for detached suites?

Front setback	6.0 meters from the front property line;
Rear setback	Garden suite: 1.5 meters from the rear property line; Carriage suite: 3.0 meters from the rear property line;
Side yard setback	Interior side yard: same as rear setback; Exterior side yard: 3.0 metres from the exterior side property line.