

IMPORTANT CHANGES

The Zoning Bylaw regulates the development of land and the location and use of buildings and structures on all properties in the City.

The current Zoning Bylaw, adopted in 1988 and amended 73 times, no longer achieves the vision of the City's 2007 *Official Community Plan*.

The new Zoning Bylaw will:

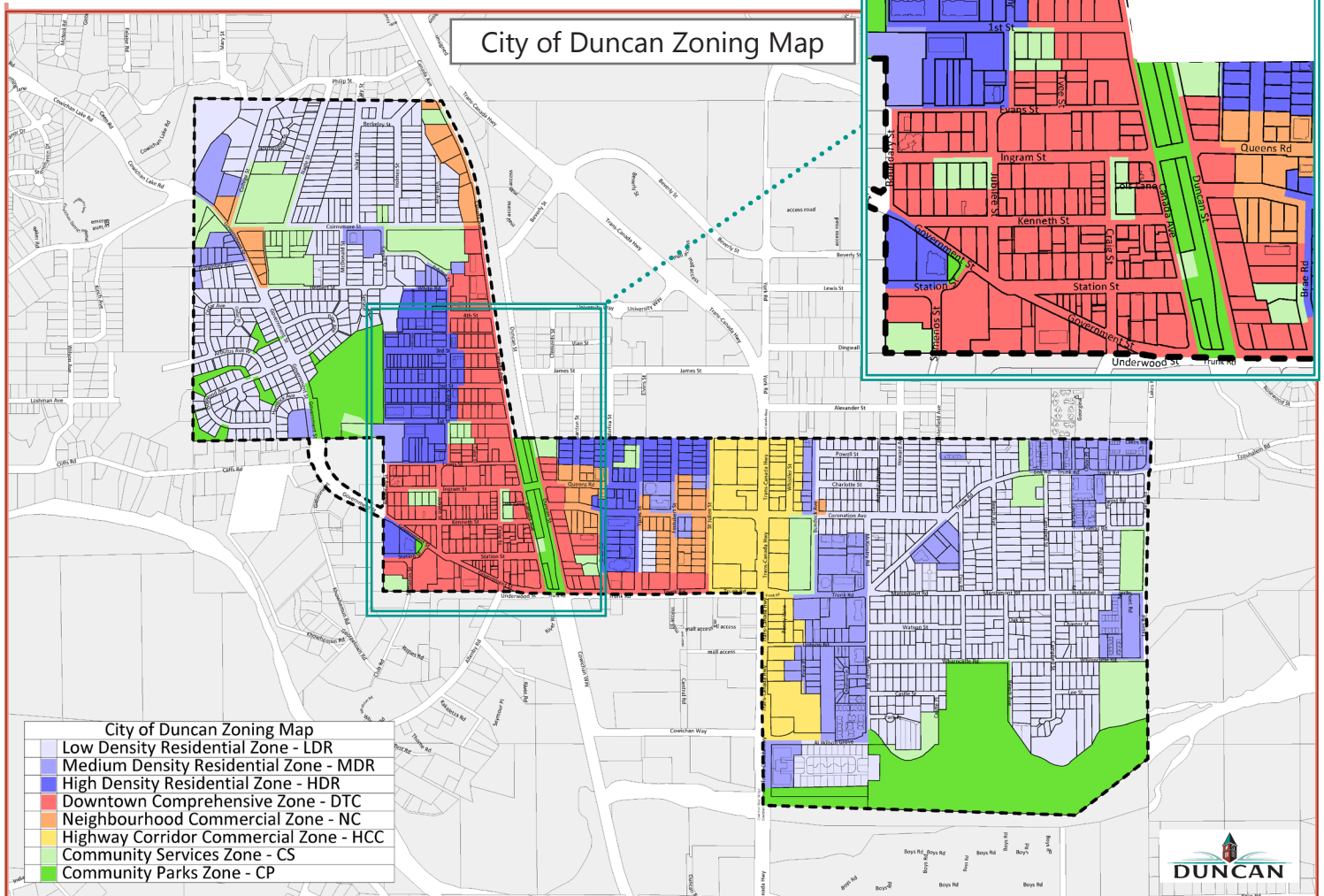
- reduce overall number of zones from 16 to 8;
- give land-owners more options on their property;
- be more prescriptive for height, access, and setbacks in the downtown to be consistent with Development Permit Area Guidelines (see reverse for details); and,
- be more user-friendly by incorporating a table of contents, intuitive layout, logical zone names and metric dimensions.

Staff will be available to meet with property owners to discuss the bylaw on October 25th, 26th, 27th, and 30th. Please contact Michelle Geneau, Manager of Planning: michelle@duncan.ca

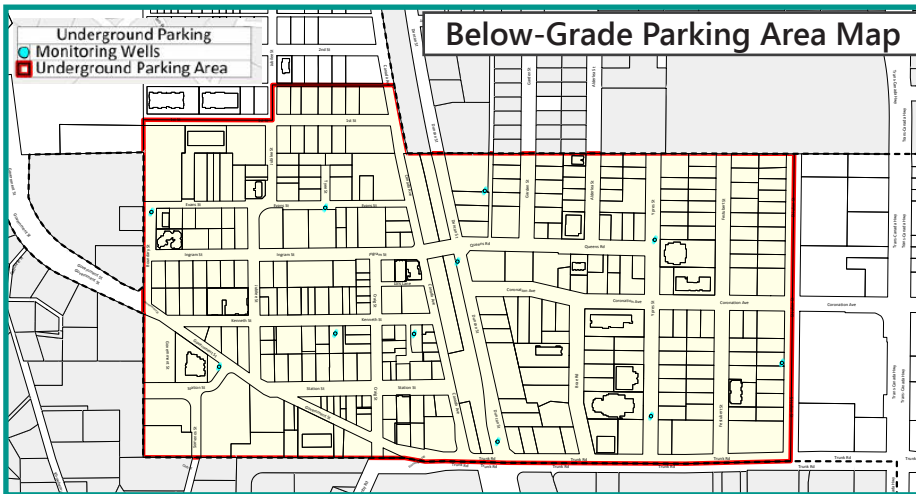
BYLAW ADOPTION PROCESS

11/06	Revised bylaw presented to the Committee of the Whole
11/20	1 st and 2 nd reading of revised bylaw
11/27	Public Hearing and possible 3 rd Reading
Nov-Dec	Bylaw referred to Ministry of Transportation and Infrastructure (MoTI) for review

Final adoption of the Zoning Bylaw can proceed following MoTI's approval.



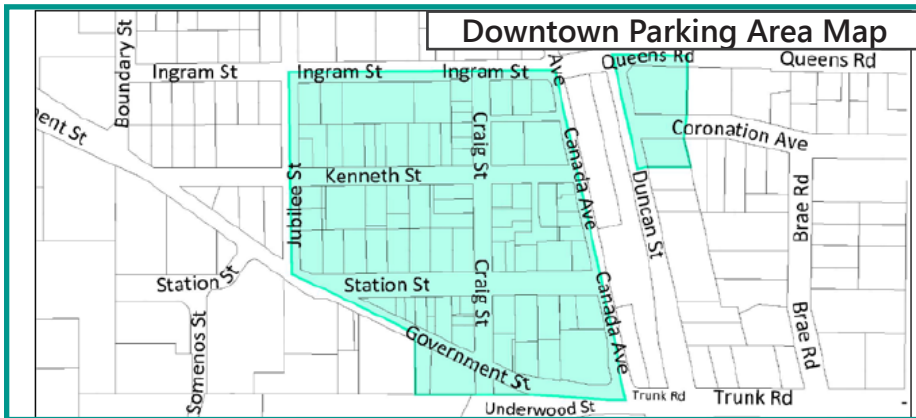
NEW ZONING BYLAW - What is New Downtown?



Below-Grade Parking Areas

The draft bylaw will require new Commercial and Multi-Family Residential development within the area identified for below-grade parking (as shown in the map to the left) to provide at least 50% of their required parking spaces entirely below grade.

A seven-year study has determined that groundwater levels in this area may be low enough for the construction of underground parking.



Downtown Parking Areas

Currently, all development within the Downtown Parking Area is exempt from parking requirements.

In the draft bylaw, only commercial uses on the ground floor of a building are exempt.

Multi-Family Residential units within this area will have reduced parking requirements in the draft bylaw: 0.5 spaces per unit with one bedroom or less; 1 space per unit with more than one bedroom.

Other Downtown Area Changes

The new Zoning Bylaw contains important changes for the improvement of the downtown area, which will apply when properties are redeveloped:

Shared Access

- Downtown lots with frontages less than 40 metres on Boundary, Jubilee, Craig, Evans, Ingram, Kenneth, and Station Streets will be required to share access to parking areas with neighbouring properties, thereby reducing the amount of driveways and improving pedestrian safety.

Building Heights

- Two-storey *minimum* building height.
- Four-storey *maximum* building height if building contains commercial uses only.
- Six-storey *maximum* building height if building contains mixed use commercial-residential uses.

Downtown Setbacks

- Upon redevelopment, some parcels on narrow downtown streets (Kenneth, Evans, Boundary, and Jubilee Streets) will be required to have an additional 2 metre setback to allow for future street or sidewalk widening.
- For all properties in the downtown comprehensive zone, front and exterior side setbacks will be a minimum of 1 metre and a maximum of 3 metres, except for properties on Station Street and Craig Street, which will still have 0 metre minimum setbacks.

Density

- Density will be regulated by floor area ratio (the total gross floor area divided by the lot area) instead of units per hectare, providing more flexibility for mixed use development.

The full proposed Zoning Bylaw No. 3166 can be viewed at

www.duncan.ca/city-hall/planning-and-development/zoning-bylaw-rewrite/

Staff will be available to meet with property owners to discuss the bylaw on October 25th, 26th, 27th, and 30th during business hours.

Direct your comments or questions to:

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